

The Copse

Abingdon, Oxfordshire





A substantial family house close to excellent amenities.


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Summary of accommodation

Main House

Ground Floor: Entrance hall | Dining room | Kitchen | Living room | Lounge | Laundry room | WC
First Floor: Seven bedrooms, two with en suites | Family bathroom | Shower room

Garden and Grounds


Garage


Situation


(Distances and times are approximate)

The house lies just off Radley Road, to the northeast of the town centre.

 Abingdon has an excellent range of shops with many local retailers, the Bury Street Shopping Centre as well as supermarkets, including Waitrose and Tesco.

 Leisure facilities nearby include the White Horse Leisure and Tennis Centre as well as Tilsley Park.

 There are a range of good schools, including Our Lady's Abingdon, Abingdon School, Abingdon and Witney College and Carswell. Further afield are the Manor, Chandlings, St Helen and St Katharine, as well as Radley College and the Europa School.

 Communications are good, with easy access to the A34, which links the M4 and M40. From Didcot, there are fast rail services to London Paddington.



The Property

This individual and stylish house has considerable living space over two floors, comprising circa 3350 square feet. It would benefit from some modernisation but offers excellent family living with seven bedrooms, three ensuite bath/shower rooms, a family bathroom and three good reception rooms. There is a galleried reception hall and landing. The garden is laid to lawn with a paved terrace flanked by hedging. There is a double garage and parking to the front and at the side.

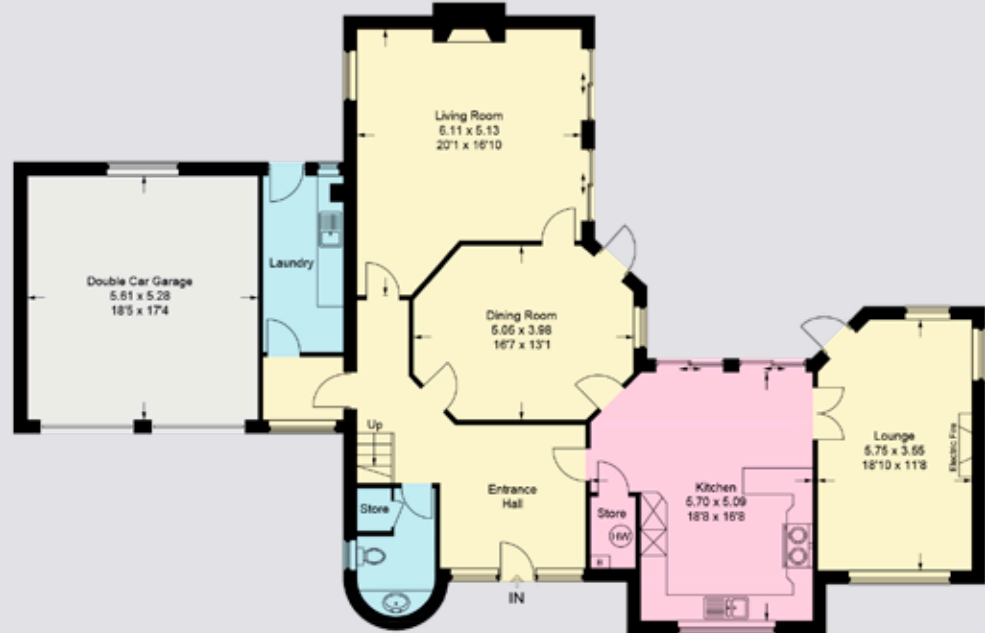




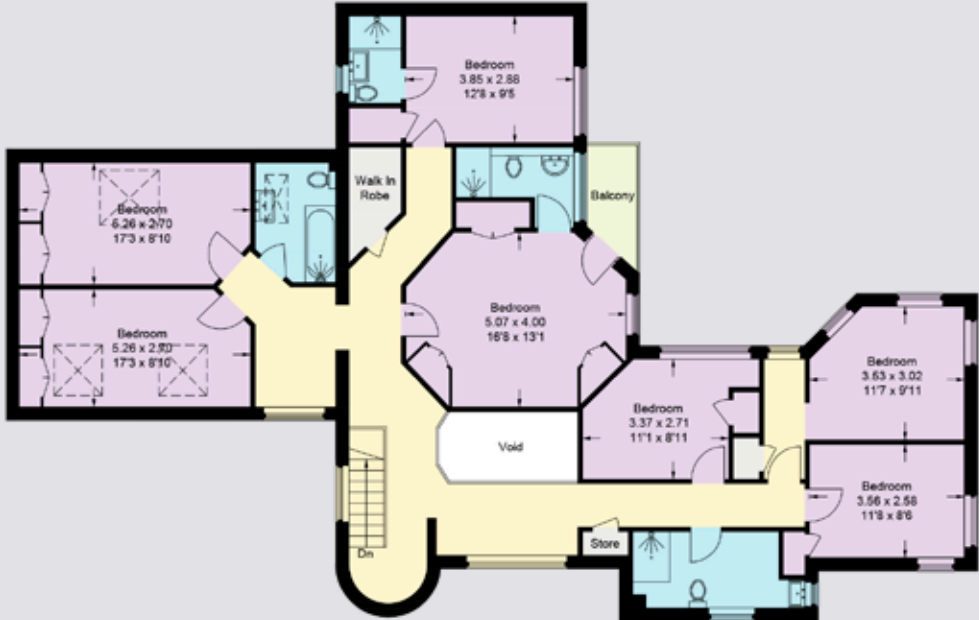
FLOORPLAN

Approximate Gross Internal Floor Area
Ground Floor = 130.3 sq.m / 1,402 sq.ft
First Floor = 153.5 sq.m / 1,652 sq.ft
(Excluding void)
Double Car Garage = 29.7 sq.m / 320 sq.ft
Total = 313.5 sq.m / 3,374 sq.ft

This plan is for guidance only and must not be relied upon as a statement of fact. Attention is drawn to the important notice on the last page of the text of the Particulars.



Ground Floor



First Floor



Property Information

Local Authority: Vale of White Horse District Council

Council Tax: Band G

EPC: C

Postcode: OX14 3YW

Viewings: All viewings strictly by appointment only through the vendor's selling agents, Knight Frank LLP.



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Fixtures and fittings: A list of the fitted carpets, curtains, light fittings and other items fixed to the property which are included in the sale (or may be available by separate negotiation) will be provided by the Seller's Solicitors.

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