Byways, Yarnton, Oxfordshire

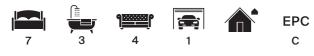
Īn





A wonderful edge of village period house set amongst delightful gardens near Oxford.

Rare opportunity to purchase a Grade II listed detached home built by the Arts and Crafts architect and designer, Charles Ashbee.



Tenure: Available freehold Local authority: Cherwell District Council Council tax band: G









Set back from the road and with a double vehicular entrance Byways has been sympathetically modernised, restored and extended by the current owners whilst preserving its original design features. It provides well-balanced accommodation, with the reception rooms enjoying southerly, easterly and westerly aspects and views across mature gardens.

The drawing room, with a music room off, is impressive, with deep square bay windows, a double aspect, and an open fireplace. The extension adds to the property's character, enhancing its sense of space and light with a spacious breakfast/sitting room and kitchen with a vaulted ceiling and double French doors to a private terrace.

















Situation

Situated about 4 miles north of the city of Oxford with its noted state and private schools, cultural, shopping and sporting facilities, the village of Yarnton has amenities which include a primary school, village hall, public house, doctor's surgery, post office/shop and garden centre.

The nearby historic town of Woodstock offers day to day facilities and Blenheim Palace with its landscaped parkland is a local attraction for visits and walks. Private members clubs, including Estelle Manor and Soho Farmhouse, are nearby.

Communications are excellent with Oxford Parkway station (3.2 miles) providing regular services to London Marylebone and Oxford station (5.4 miles) with its services to London Paddington from 50 minutes. The M40 is reached by the A34 and there are regular buses into Oxford and Woodstock from Yarnton.







Yarnton Oxfordshire

This plan is for guidance only and must not be relied upon as a statement of fact. Attention is drawn to the important notice on the last page of the text of the particulars.

recycle



Fixtures and fittings: A list of the fitted carpets, curtains, light fittings and other items fixed to the property which are included in the sale (or may be available by separate negotiation) will be provided by the Seller's Solicitors.

Important Notice: 1. Particulars: These particulars are not an offer or contract, nor part of one. You should not rely on statements by Knight Frank LLP in the particulars or by word of mouth or in writing ("information") as being factually accurate about the property, its condition or its value. Neither Knight Frank LLP nor any joint agent has any authority to make any representations about the property, and accordingly any information given is entirely without responsibility on the part of the agents, seller(s) or lessor(s). 2. Photos, Videos etc: The photographs, property videos and virtual viewings etc. show only certain parts of the property as they appeared at the time they were taken. Areas, measurements and distances given are approximate only. 3. Regulations etc: Any reference to alterations to, or use of, any part of the property does not mean that any necessary planning, building regulations or other consent has been obtained. A buyer or lessee must find out by inspection or in other ways that these matters have been property dealt with and that all information is correct. 4. VAT: The VAT position relating to the property may change without notice. 5. To find out how we process Personal Data, please refer to our Group Privacy Statement and other notices at https://www.knightfrank.com/legals/privacy-statement.

Particulars dated May 2024. Photographs and videos dated May 2024.

harry.sheppard@knightfrank.com

Knight Frank Oxford Sales

Oxford

OX27DY

274 Banbury Road

knightfrank.co.uk

Knight Frank is the trading name of Knight Frank LLP. Knight Frank LLP is a limited liability partnership registered in England and Wales with registered number OC305934. Our registered office is at 55 Baker Street, London W1U 8AN where you may look at a list of members' names. If we use the term 'partner' when referring to one of our representatives, that person will either be a member, employee, worker or consultant of Knight Frank LLP and not a partner in a partnership. If you do not want us to contact you further about our services then please contact us by either calling 020 3544 0692, email to marketing.help@knightfrank.com or post to our UK Residential Marketing Manager at our registered office (above) providing your name and address.

